

**PLAN COMMISSION OF THE CITY OF HUDSON, WISCONSIN**

**Tuesday, August 6, 2019 6:00 p.m.  
Council Chambers of City Hall, 505 Third Street**

**AGENDA**

(Click on agenda items highlighted in blue to access documents related to that item)

1. Call to Order
2. [Discussion and possible action on July 23, 2019 meeting minutes](#)
3. Public Hearings
4. Unfinished Business
5. New Business
  - A. [Discussion and possible action on a certified survey map \(CSM\) for 815 Wisconsin Street – Willow River Cemetery Association](#)
  - B. [Discussion and possible action on concept development plans for Hudson Hospital EMS Garage at 2800 Center Drive – Hudson Memorial Hospital Inc](#)
6. Communications and Items for Future Agendas
7. Adjournment

Emily Sorenson, Acting Secretary

Posted in City Hall lobbies and emailed to *Hudson Star-Observer* on 8/2/2019

Notice is hereby given that a majority of the City Council may be present at the aforementioned meeting of the Plan Commission to gather information about a subject over which they have decision making responsibility. This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis. 2d 553, 494 N. W. 2d 408 (1993), and must be noticed as such, although the Council will not take any formal action at this meeting.



REGULAR MEETING OF THE PLAN COMMISSION  
CITY OF HUDSON  
Tuesday, July 23, 2019

The Plan Commission meeting was called to order by Chairman O'Connor at 6:01 p.m.

PRESENT. Randy Morrisette, Rich O'Connor, Mary Claire Potter, and Frank Rhoades.

ABSENT. Kurt TeWinkel, Pat Casanova, and Fred Yoerg.

OTHERS PRESENT. Brian Zeller, Jason Johnson, Kip Johnson, Tiffany Weiss, Mike Johnson, and others present.

Discussion and possible action on July 7, 2019 meeting minutes. Motion by Rhoades, seconded by Morrisette to approve the minutes of the July 7, 2019 Plan Commission meeting. All Ayes (4). Motion Carried.

**NEW BUSINESS.**

Discussion and possible action on a certified survey map (CSM) for St. Croix County Tax Parcel 236-1975-16-000 – Gerrard Development, LLC. Weiss explained the project and that the purpose of the CSM was to dedicate the extension of Maxwell Drive to the public as it is currently considered a private drive. The CSM also made a couple of new Outlots on the parcel. Motion by Morrisette, seconded by Potter to approve the certified survey map with the following condition(s):

1. That the applicant sufficiently addresses all engineering comments related to the Maxwell Drive extension prior to final City signature release.
- All Ayes (4). Motion Carried.

Discussion and possible action on a rezoning recommendation to the Common Council for a zoning map amendment from PCD, Planned Commercial Development to PRD-3, Planned Residential Development and a comprehensive plan amendment from General Commercial to Medium Density Residential on the southeasterly quarter of St. Croix County Tax Parcel 236-1975-10-001 – Park Place, LLC. Weiss explained the project would be similar in proposed density as to what the PCD's Final Master Plan originally called for on this site back in November of 2018, but that this new plan adds some varying types of housing (single family, duplexes, rowhomes, and the potential for a future multi-family structure). Motion by Morrisette, seconded by Potter to recommend the Common Council approve the requested rezoning amendment to PRD-3. All Ayes (4). Motion Carried.

Discussion and possible action on a preliminary plat recommendation to the Common Council for the southeasterly quarter of St. Croix County Tax Parcel 236-1975-10-001 – Park Place, LLC. Weiss discussed the relationship between the platting of Lot 12 to the creation of the Planned Residential District previously discussed. It would create 54 new parcels to allow for the multiple housing types, and also includes the creation of 3 Outlots (two of which are for green space requirements in planned residential districts, and the other is to allow for a future multi-family structure). Motion by Morrisette, seconded by Rhoades to approve the preliminary plat with the following condition(s):

1. That the site improvements will adhere to the approved development review and construction processes within the City.
2. That a development agreement between the City of Hudson and Park Place, LLC be negotiated and approved by the Hudson Common Council prior to recording the final plat.



REGULAR MEETING OF THE PLAN COMMISSION  
CITY OF HUDSON  
Tuesday, July 23, 2019

3. That a Planned Residential District (PRD) master plan conditional use permit be approved prior to final plat consideration by the Common Council.
4. That no building permits will be issued until new streets are sufficiently constructed to allow emergency access to construction sites with street signs in place. This will be verified in writing by the Hudson Police Department, Hudson Fire Department and St. Croix EMS/Lakeview EMS.

All Ayes (4). Motion Carried.

Discussion and possible action on a downtown design review for 302 2<sup>nd</sup> Street – Ziggy's. Weiss described the project as being a sign package only and not necessarily a building façade change. One wall sign will be newly constructed and placed on the north façade of the building, facing downtown (sized at 70 ft<sup>2</sup>). The second sign will be a refacing project of the currently existing projecting sign that advertises for the old "Pudge's" restaurant. Weiss mentioned that the spelling of the word "restaurant" was incorrect on the proposed projecting sign and that she had discussed that with the applicant to get that error fixed. Morrisette asked if the sign would be lit, and Weiss stated that it would not be. Motion by Morrisette, seconded by Rhoades to approve the downtown design review certificate and sign package for Ziggy's restaurant. All Ayes (4). Motion Carried.

Discussion and possible action on concept development plans for a building expansion at 609 2<sup>nd</sup> Street – CMM Mallory's, Inc. Weiss explained that the project is a third story addition to the currently existing Mallory's restaurant in downtown. The top floor patio to be added will be for seasonal use only and will seat an additional 68 patrons.

Potter asked if the building is going to be made higher and if so by how much more. Jason Johnson, the applicant, came to the podium and answered that the building would be going up an extra 8 feet or so to accommodate the elevator and dumbwaiter.

Morrisette asked if Jason Johnson feels the project would be structurally sound and further asked how long Mr. Johnson has been in the construction business. Johnson answered that he has licensed architect and engineers working on the project, and that the project has been run through the State of Wisconsin's processes and was preliminarily approved, pending the City's approval. He mentioned that core fillings were one requirement the state requested for structural integrity purposes, and is something that has yet to be done, but overall the State is confident in the project and its safety measures.

Potter mentioned that the roof deck of Mallory's is popular, and Johnson further discussed that the restaurant as it is doesn't have enough seating room to accommodate everyone that comes through the door and so they've had to turn away patrons several times due to a lack of seating and so he's hoping this will help with that problem. Additionally, it was mentioned that the currently existing deck will open up seating areas for 10-11 months out of the year with this new expansion added on top.

Morrisette mentioned that Mr. Johnson will have to surrender his liquor license once the project is completed as he'll have to redefine the areas in which he plans on serving liquor on the site. Johnson confirmed this.



REGULAR MEETING OF THE PLAN COMMISSION  
CITY OF HUDSON  
Tuesday, July 23, 2019

Motion by Morrisette, seconded by Potter to approve the concept development plans for the building expansion of Mallory's restaurant at 609 2<sup>nd</sup> Street with the following condition(s):

1. That all site improvements adhere to the approved development and construction process within the city.
2. That all staff and engineering comments be satisfactorily addressed and provided for by the applicant prior to final development plan consideration by the Plan Commission and Common Council.
3. That any variances required for the building height, setbacks, and exterior storage (i.e. garbage) space be acquired from the Board of Appeals prior to final plan approval by the Plan Commission and Common Council.
4. That in-lieu-of-parking fees for 1,200 ft<sup>2</sup> be paid in full prior to building permit issuance.
5. That civil engineering plans be received by the City from the applicant prior to final plan consideration by the Plan Commission and Common Council.

All Ayes (4). Motion Carried.

Discussion and possible action on recommending the Common Council set a public hearing date for a zoning map amendment from R-2, Two-Family Residential to B-3, Central Business and a comprehensive plan amendment from Single and Two Family Residential to Downtown Commercial at 821 and 825 2<sup>nd</sup> Street and 828 1<sup>st</sup> Street – CMM Investments, LLC. Mike Johnson stated that it would be best to have the applicant come forward and present his proposal to the Commission at this time. Jason Johnson presented his concepts on poster boards depicting the location, zoning, architectural renderings and proposed site plans of the condo layouts for his project proposal. He mentioned that the building he would like to construct in this area of town would include 17 condos on 4 levels with 34 underground parking spaces and that there is some proposed outdoor open space for tenants to utilize. Additionally, the penthouses on the top floor would have patio decks to enjoy the views of the St. Croix River. Johnson mentioned the current zoning of the site is R-2 and that the AT&T building (and it's parking lot) directly south of his properties are also zoned as R-2, but as far as land uses are concerned, he felt that his project would fit in well with the surrounding neighborhood as a transitional use and would complete the block. Johnson also explained that the design of the building is meant to fit in with other historic downtown designs and has requested that his building's exterior be scrutinized so that it meets historic downtown overlay design requirements as listed in municipal code, despite being outside the downtown overlay zone.

Morrisette asked about how tall the building would be. Johnson answered that it would be roughly 42' in height, thereby meeting City of Hudson requirements. Potter further inquired if this meant it would be similar in height to the AT&T building to the south, and Johnson said his proposed building would be higher by about 1 story. Mike Johnson noted that it wasn't measured. Potter also asked if the properties are currently vacant, to which Johnson specified that they are currently rentals that were built in the mid-to-late 1800s (found proof of construction on papers hidden in the walls) and their foundations are beginning to fail, which is costing him a lot of money for upkeep.

Potter inquired about pricing of the condos. Johnson stated that the lower units would be between \$500-600k, and the higher units (penthouses) would cost around \$1 million or more.



REGULAR MEETING OF THE PLAN COMMISSION  
CITY OF HUDSON  
Tuesday, July 23, 2019

Morrisette asked if Johnson had spoken with his neighbors about this project. Johnson said he spoke with his neighbors that share the block with him, but at this time has not spoken with his neighbors across the street. Morrisette asked if the units would be pre-sold, and Johnson said that was yet to be determined based on finances.

Johnson mentioned that through conversations he's had with Mike Johnson and staff, they are adamant about doing this right, so Mr. Johnson is thereby requesting a public hearing. Morrisette noted that the building looks like the old 4<sup>th</sup> Street Middle School building (i.e. like a giant block), and Johnson mentioned that since this is just a preliminary concept of the proposal, he's open to making façade changes to the building so that it adds more character to the structure.

Mike Johnson explained that this would be an expansion of the downtown overlay district and with that comes with some implications and consequences via zoning. Requires a global/community-wide discussion on whether the City wants to expand the downtown further northward. The City wants to do this right, and so the Community Development Department feels it would be best for these conversations to take place during the Comprehensive Plan Updates coming up soon.

Potter asked if Johnson plans on making the building bigger knowing the third parcel isn't included in this plan. Johnson answered that he would not and then discussed the need for the alley to remain in place as it serves an important purpose to his proposed building.

Motion by Rhoades, seconded by Potter to recommend the Common Council set a public hearing date. All Ayes (4). Motion Carried.

**COMMUNICATIONS AND ITEMS FOR FUTURE AGENDAS.**

Update & Discussion (no action), if applicable, regarding updates to potential access control on Old Highway 35 between Hanley Road and Stageline Road with the State Department of Transportation (WisDOT) and/or the Town of Hudson. No updates were made.

Morrisette asked how the Vine/Carmichael & 11<sup>th</sup> Street Bridge traffic studies are coming along. Mike Johnson answered that Community Development is in the process of getting LOE's from the City of Hudson's consultant engineers (SEH).

Potter and Rhoades inquired about the ballpark going in at the St. Croix Meadows site and whether that was still going to be completed by summer next year (2020). Johnson answered that, as far as Community Development knows, the ballpark is continuing to move forward and should be completed by summer next year.

The next meeting date is scheduled for Tuesday, August 6, 2019 at 6:00 p.m.

**ADJOURNMENT.**

Motion by Morrisette, seconded by Potter to adjourn at 6:24 p.m. All Ayes (4). Motion Carried.

Respectfully submitted,  
Tiffany Weiss, Acting Secretary



505 Third Street  
Hudson, Wisconsin 54016  
ph: (715)-386-4765 fx: (715)386-3385  
www.ci.hudson.wi.us

**TO:** Plan Commission

**FROM:** Community Development

**DATE:** August 6, 2019

**SUBJECT:** Discussion and possible action on a certified survey map (CSM) for 815 Wisconsin Street – Willow River Cemetery Association

---

**BACKGROUND:**

Willow River Cemetery Association has submitted a certified survey map for 815 Wisconsin Street. The proposed CSM would subdivide off a 14,890 sq. ft. portion of the main parcel. The new lot will be at the northeast corner of Wisconsin and Eighth Streets. The property is currently zoned R-1, One-Family Residential.

**STAFF RECOMMENDATION:**

Recommends approval of the certified survey map with conditions.

**ACTION REQUESTED:**

Approve the certified survey map with the following condition(s):

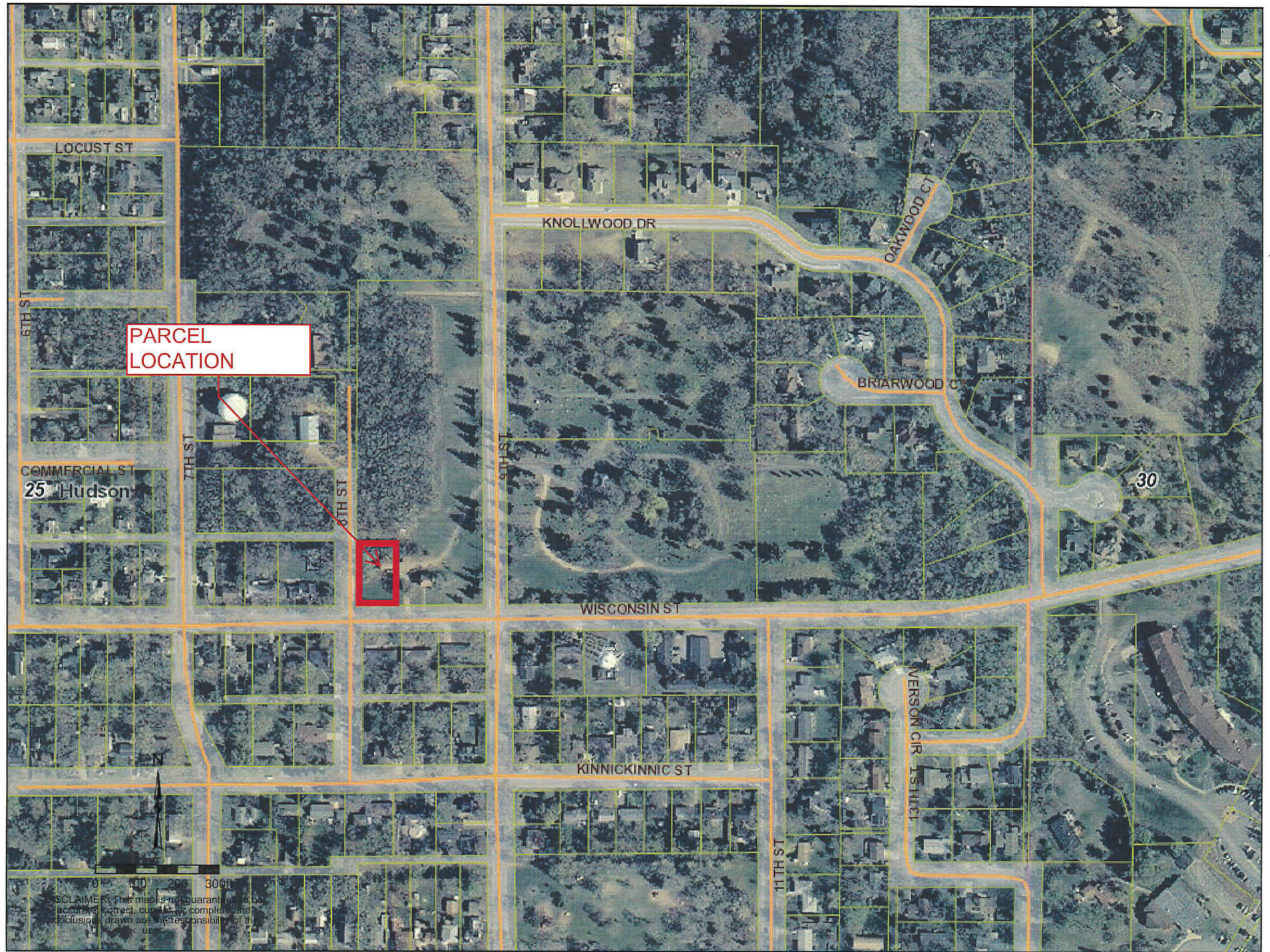
1. That the connection to and the cost of installing utilities will be the responsibility of whomever builds upon the property.
2. The property is currently zoned R-1, Single Family Residential, and the garage on its own is not permitted. A single-family structure is required before the garage is used independently of the cemetery or a new home as per Municipal Code §255-28(C).

**ATTACHMENTS:**

Certified Survey Map

Prepared by: Emily Sorenson, Community Development Clerk  
Through: Mike Johnson, AICP, Community Development Director





PARCEL  
LOCATION

COMMERCIAL ST  
25 Hudson

KNOLLWOOD DR

OAKWOOD CT

BRIARWOOD CT

30

WISCONSIN ST

KINNICKINNIC ST

11TH ST

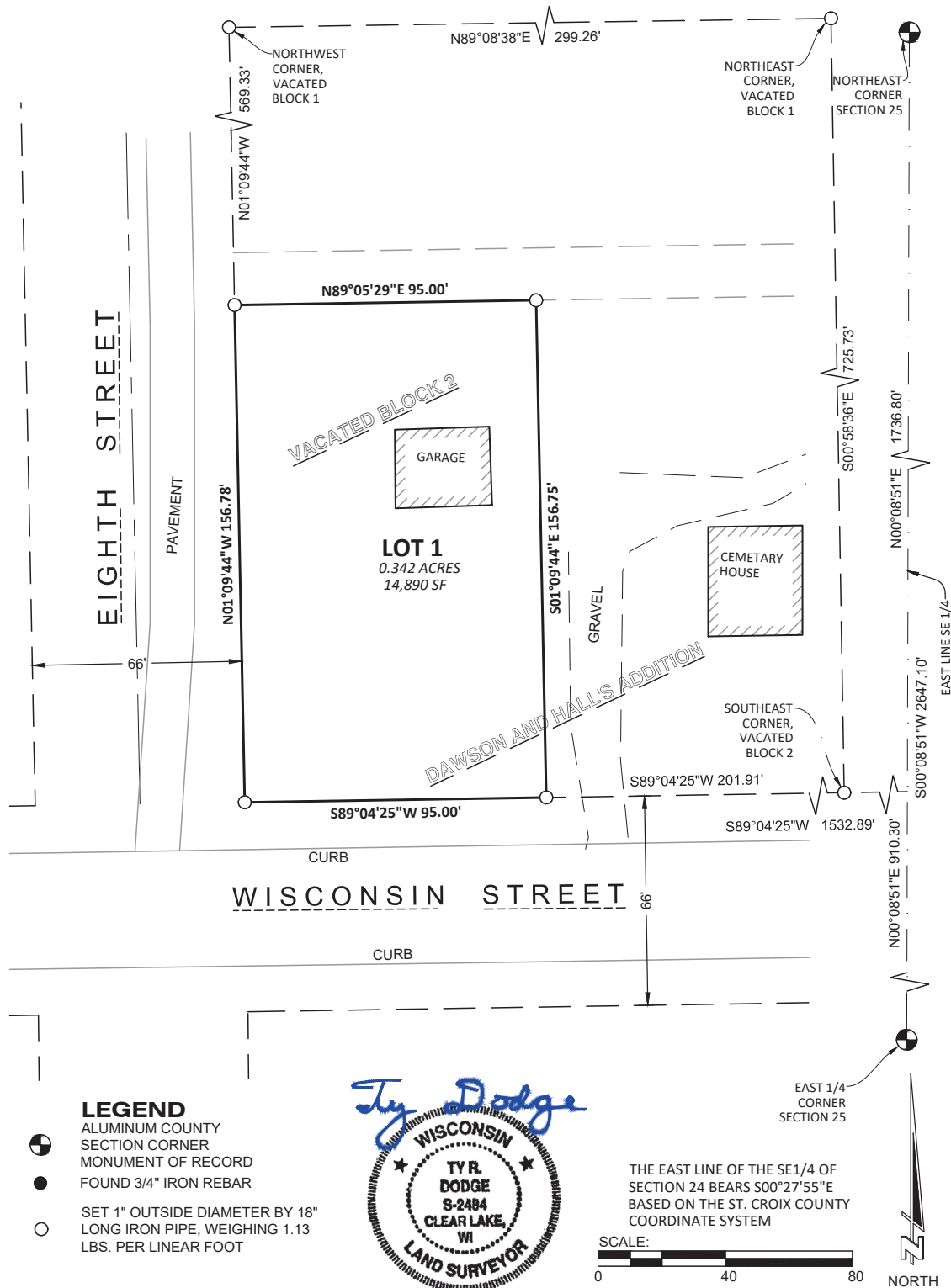
VERNON CIR

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, complete and conclusions drawn are the responsibility of the user.



# CERTIFIED SURVEY MAP

LOCATED IN PART OF THE SW 1/4 OF THE NE 1/4 OF SECTION 24, T29N, R20W, CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN, INCLUDING PART OF VACATED BLOCK 2 OF DAWSON AND HALL'S ADDITION TO HUDSON.



07/16/19

THIS INSTRUMENT DRAFTED BY: TY DODGE JOB NO. 7855-001 DATE: 07/16/19

SHEET 1 OF 2



# CERTIFIED SURVEY MAP

LOCATED IN PART OF THE SW 1/4 OF THE NE 1/4 OF SECTION 24, T29N, R20W, CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN, INCLUDING PART OF VACATED BLOCK 2 OF DAWSON AND HALL'S ADDITION TO HUDSON.

**PREPARED FOR:**

WILLOW RIVER CEMETARY  
815 WISCONSIN STREET  
HUDSON WI 54016

**SURVEYOR:**

TY R. DODGE  
AUTH CONSULTING & ASSOCIATES  
S & N LAND SURVEYING  
2920 ENLOE ST. SUITE 101  
HUDSON, WI 54016

## SURVEYOR'S CERTIFICATE

I, Ty R. Dodge, Wisconsin Professional Land Surveyor, hereby certify that by the direction of Willow River Cemetery, I have surveyed, divided and mapped part of the SW 1/4 of the NE 1/4 of Section 24, T29N, R20W, City of Hudson, St. Croix County, Wisconsin, including part of Vacated Block 2 of Dawson and Hall's Addition to Hudson and part of vacated River Street more particularly described as follows:

Commencing at the East 1/4 corner of said Section 25; thence along the east line of the NE 1/4 of section 25, N00°08'51"E a distance of 910.30 feet; thence S89°04'25"W a distance of 1532.89 feet to the point of beginning; thence along the north right of way of Wisconsin Street, S89°04'25"W a distance of 95.00 feet to the east right of way of Eight Street; thence along said right of way, N01°09'44"W 156.78 feet; thence N89°05'29"E a distance of 95.00 feet; thence S01°09'44"E a distance of 156.75 feet to the point of beginning.

Containing 14,890 square feet. Subject to all easements, restrictions and covenants of record.

I also certify that this certified survey map is a correct representation to scale of the exterior boundary surveyed and described; that I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the land subdivision ordinance of the City of Hudson in surveying and mapping same.

*Ty Dodge*

07/16/19

Ty R. Dodge PLS 2484  
S & N Land Surveying  
2920 Enloe St.  
Hudson, WI 54016  
(715) 386-2007

Date



## CITY COUNCIL RESOLUTION

Resolved, that this Certified Survey Map in the City of Hudson, Willow River Cemetery, owner, is hereby approved by the city council.

\_\_\_\_\_  
Rich O'Connor  
Mayor

\_\_\_\_\_  
Date

I hereby certify that the foregoing is a copy of a resolution adopted by the city council of the City of Hudson.

\_\_\_\_\_  
Jennifer Rogers  
Clerk

\_\_\_\_\_  
Date



505 Third Street  
Hudson, Wisconsin 54016  
ph: (715)-386-4765 fx: (715)386-3385  
www.ci.hudson.wi.us

**TO:** Plan Commission

**FROM:** Community Development

**DATE:** August 6, 2019

**SUBJECT:** Discussion and possible action on concept development plans for Hudson Hospital EMS Garage at 2800 Center Drive – Hudson Memorial Hospital Inc

---

**BACKGROUND:**

Hudson Memorial Hospital has submitted concept development plans for 2720 and 2800 Center Drive. The plan consists of a new 4,592 ft<sup>2</sup> garage that can hold 3 ambulance vehicles. Plans also provide for 4 sleeping quarters, 2.5 bathrooms, a kitchen and dining area, a lounge, and some additional office space for EMS crews. There is also space set aside to construct another single garage bay in the future.

**STAFF RECOMMENDATION:**

Recommends approval of the concept development plans with conditions.

**ACTION REQUESTED:**

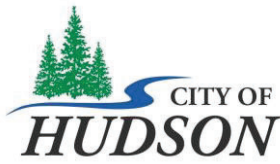
Approve the concept development plans with the following condition(s):

1. That the parcels for 2720 and 2800 Center Drive be merged with the hospital's main property at 401 Stageline Road so that land use compliance is achieved under the Conditional Use Permit that is linked to 401 Stageline Road.
2. That all site improvements adhere to the approved development and construction process within the city.
3. That all staff and engineering comments be satisfactorily addressed and provided for by the applicant prior to final development plan consideration by the Plan Commission and Common Council.
4. Property owner must obtain final development plan approval from the Plan Commission and Common Council.

**ATTACHMENTS:**

Development Application  
Concept Development Plans

Prepared by: Tiffany Weiss, Associate City Planner  
Through: Mike Johnson, AICP, Community Development Director



Application for:  
**DEVELOPMENT PLAN SUBMITTAL & REVIEW**  
(As per Municipal Code § 255-85, 255-88 and 255-89)

505 Third Street • Hudson, WI 54016 • (715)386-4776

[www.ci.hudson.wi.us](http://www.ci.hudson.wi.us)

Project Name **Hudson Hospital EMS Garage**

Applicant Name **Mike Puncochar**

Project Location **2800 Center Drive**  
(number) (street) (other information)

**Proposed building material and colors (provide a description of the materials and treatment or colors):**

Facades:

Rock Face Block similar to main campus.

Roofs:

EPDM flat roof.

Windows, entrances, dock facilities, awnings, canopies, accent details or other details:

Please see floor plan and elevations

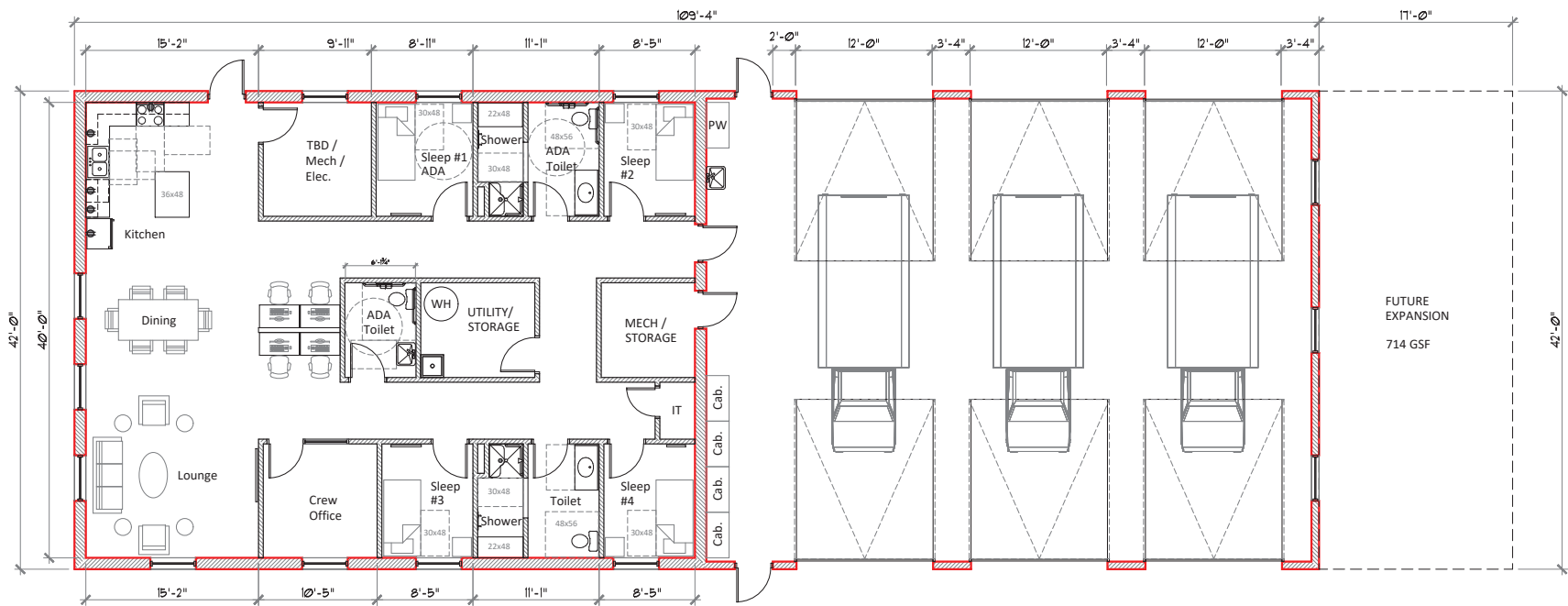
**Attach color elevations, perspectives, illustrations or photos that may assist in explaining building materials proposed.**



## **Lakeview EMS Wisconsin Ambulance Base and Crew Quarters**

July 12, 2019

On January 01, 2019 Lakeview EMS became the primary contracted ambulance service for the Town of Hudson Wisconsin. At the same time we became the primary critical care ambulance provider to provide interfacility transfers out of Hudson Hospital. Because of this new contract we needed to station an ambulance and two paramedics within an appropriate distance to the Town of Hudson to be able to provide industry standard response times to the area. Hudson Hospital was able to make temporary accommodation within the hospital to house the ambulance and sleeping quarters for the paramedics. As negotiations with the City of Hudson continued after we were selected as one of two services following an RFP process we needed to start planning for possible future expansion. A workgroup was put together that included team members from Hudson Hospital and Lakeview Hospital. This workgroup was tasked with a plan to develop a permanent solution along with the best options for an EMS base of operations located within Hudson Hospital or somewhere on the grounds of the hospital property. It was determined that the best options would be a stand-alone building detached from the hospital due to cost of construction and space issues within the current footprint of Hudson Hospital. A location was selected that would place the EMS building just south of the main hospital campus and more importantly Just south of the emergency department. This was important in our planning process. The Lakeview EMS Paramedics have become an ancillary part of the Hudson Hospital Care Team and we wanted to make sure the EMS building would be located in an area that would allow quick access into the emergency department in those critical situations where EMS can assist in care and/or prepare the patient and ambulance for a rapid transfer to a higher level of care if needed. In June of 2019 the Common Council of Hudson voted to contract with Lakeview EMS to become the primary ambulance provider for their current ambulance service area. Because of this expanded service area and an additional staffed ambulance needed for the new contract there now was only one option for an EMS building. That is the current proposed plan which is a stand-alone building location just south of the main Hudson Hospital campus. Along with this new contract Lakeview EMS will remain an ancillary part of the Hudson Hospital Care Deliver Team. Along with that we will participate in workgroups and different committees within Hudson Hospital to maintain best practices in patient experience, care, outcomes, prevention, and community needs.



1  
A-10

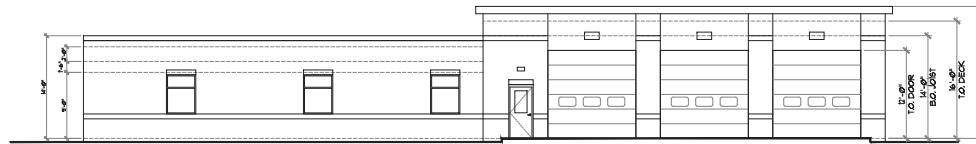
PRELIMINARY BUILDING PLAN - OPTION A

SCALE: 1/8" = 1'-0"

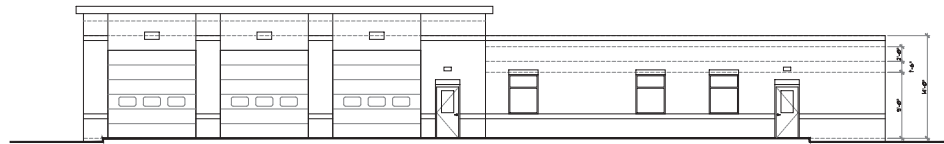
BUILDING AREA:

4,592 GSF

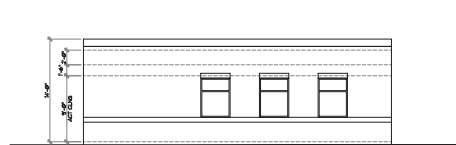




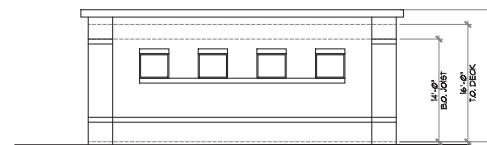
1 PRELIMINARY BUILDING ELEVATION - WEST  
A-3-0 SCALE 1/8" = 1'-0"



2 PRELIMINARY BUILDING ELEVATION - EAST  
A-3-0 SCALE 1/8" = 1'-0"



3 PRELIMINARY BUILDING ELEVATION - NORTH  
A-3-0 SCALE 1/8" = 1'-0"



4 PRELIMINARY BUILDING ELEVATION - SOUTH  
A-3-0 SCALE 1/8" = 1'-0"



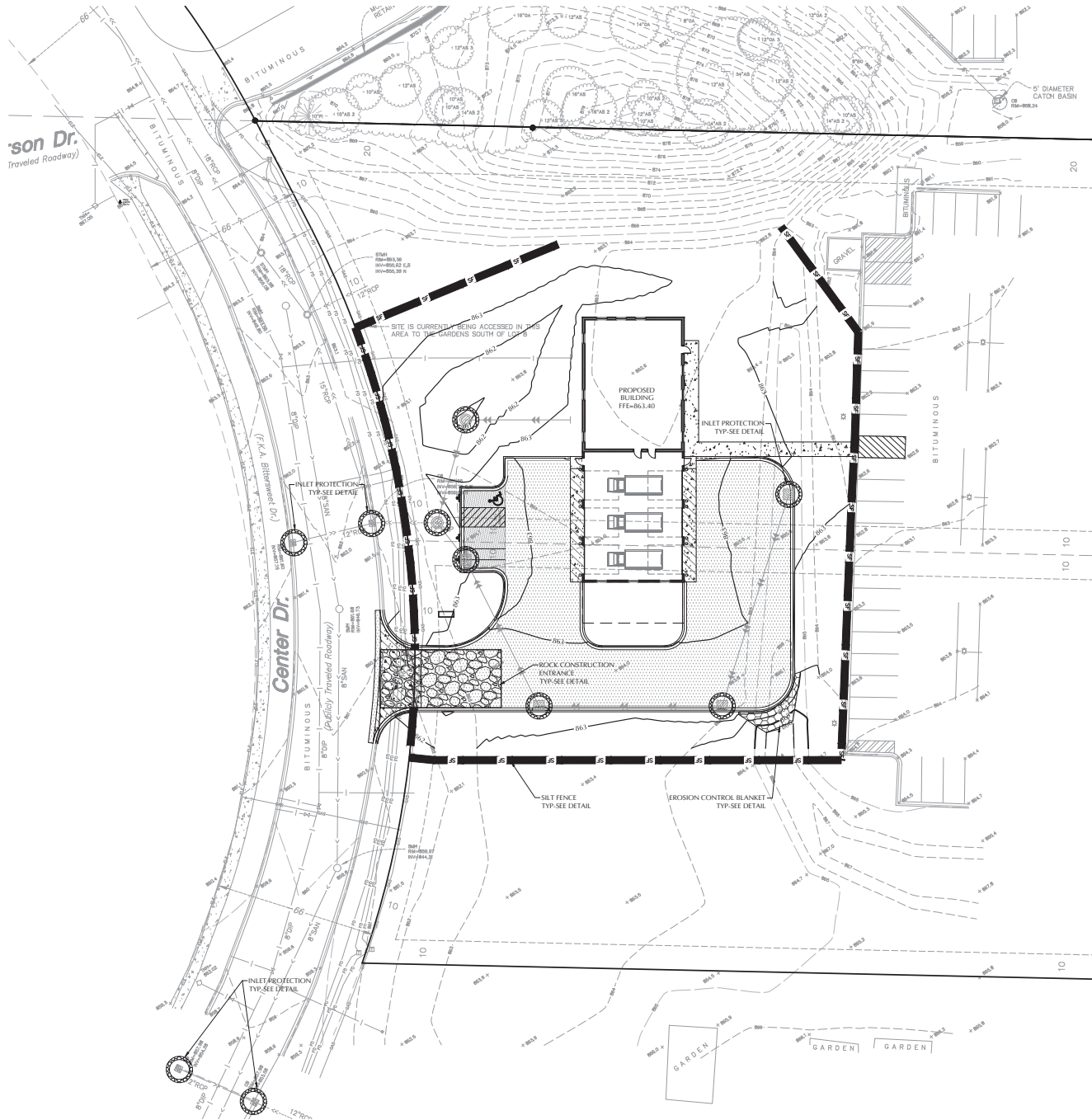






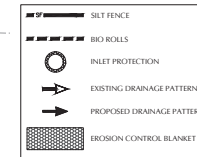




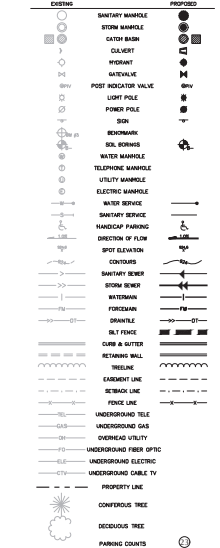


NOTE:  
EXISTING CONDITIONS INFORMATION SHOWN  
IS FROM AN EXISTING CONDITIONS SURVEY  
PREPARED BY LOUCKS, DATED MAY, 2019.

#### SWPPP LEGEND



#### CIVIL LEGEND



**HUDSON  
HOSPITAL  
EMS BUILDING**

2800 & 2720 CENTER DRIVE  
HUDSON, WI 54316

HUDSON HOSPITAL

405 STAGELINE ROAD  
HUDSON, WI 54316



PLANNING  
CIVIL ENGINEERING  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL  
7200 Hamlock Lane, Suite 300  
Maple Grove, MN 55369  
763.424.5505  
www.louckscinc.com



#### CADD QUALIFICATION

CADD files prepared by the Consultant for this project are not to be used for any other project without the written approval of the Consultant. The Consultant's approval, when given, is limited to the specific project and does not constitute a warranty of any kind. The Consultant is not responsible for any errors or omissions in the CADD files, and the user assumes all liability for any such errors or omissions.

#### SUBMITTAL/REVISIONS

DATE	DESCRIPTION
07-23-19	CITY SUBMITTAL

#### PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.

License No. E-41588-6  
Date 07-23-19

#### QUALITY CONTROL

Loucks Project No. 19085C  
Project Lead JJD/TDG  
Drawn By MS/MDC  
Checked By TDG  
Review Date

NO.	DESCRIPTION
01.1	EXISTING CONDITIONS
01.2	DEMOLITION PLAN
02.1	SITE PLAN
02.2	EXCAVATION PLAN
02.3	GRADING & DRAINAGE PLAN
02.4	SWPPP
02.5	SWPPP NOTES & DETAILS
02.6	UTILITY PLAN
02.7	CIVIL DETAILS
02.8	CIVIL DETAILS
02.9	CIVIL DETAILS
02.10	LANDSCAPE DETAILS
02.11	LANDSCAPE DETAILS



#### WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

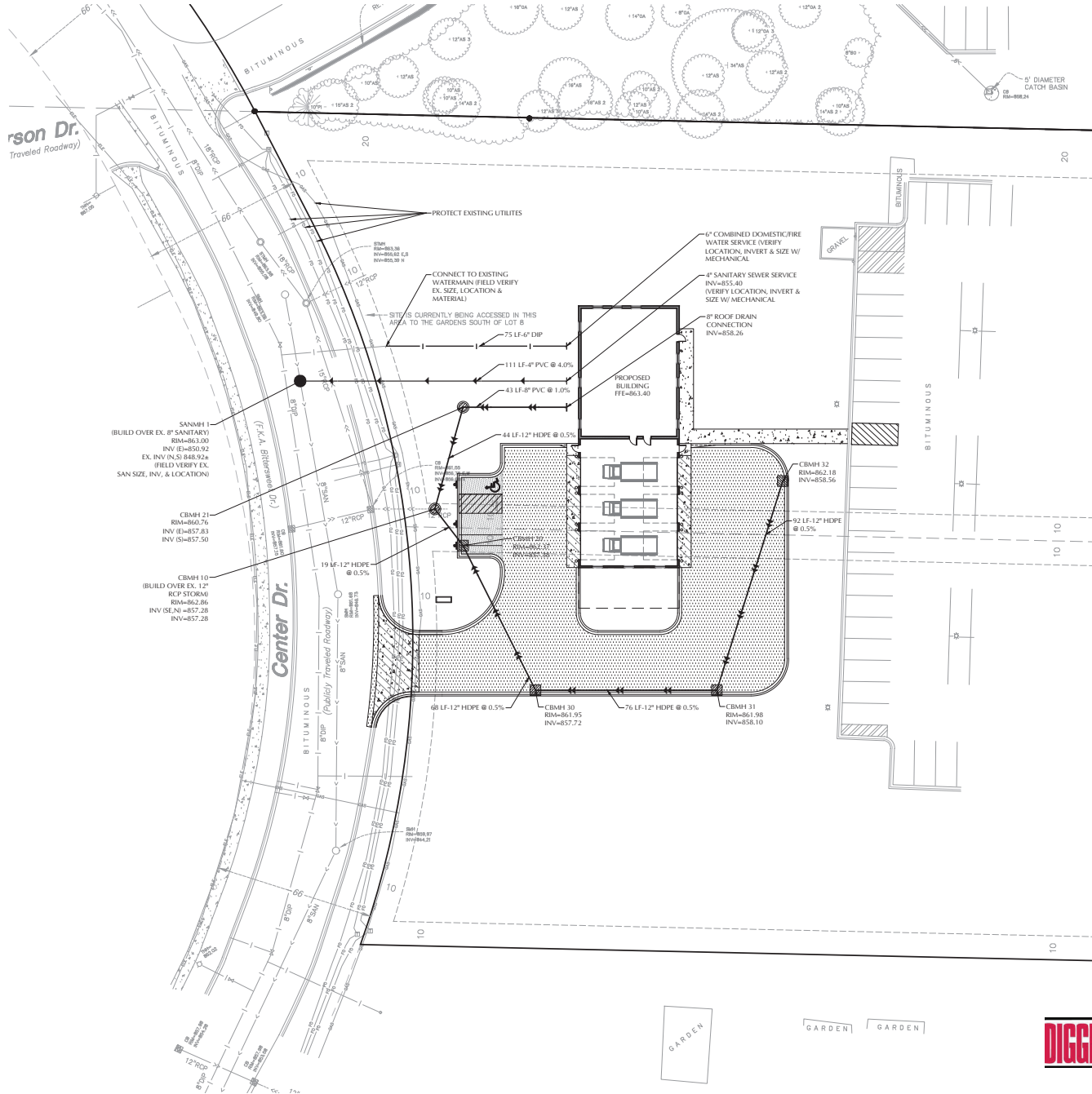
THE CONTRACTOR SHALL CONTACT THE DIGGERS HOTLINE AT 800-242-8511 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

**STORM WATER  
POLLUTION  
PREVENTION  
PLAN**

**C3-2**







NOTE:  
EXISTING CONDITIONS INFORMATION SHOWN  
IS FROM AN EXISTING CONDITIONS SURVEY  
PREPARED BY LOUCKS, DATED MAY, 2019.

#### CIVIL LEGEND

EXISTING	PROPOSED

#### UTILITY NOTES

- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE CITY AND THE STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (WSWS), LATEST EDITION. ALL HOPE CONNECTIONS TO CONCRETE MANHOLES SHALL BE CONNECTED WITH AN INTERNAL RUBBER CASSET OR BY USING ADS WATERSTOP CASSET.
- SEE DETAIL SHEETS AND THE CONTRACT SPECIFICATIONS FOR SPECIFIC UTILITY DETAILS AND UTILITY SERVICE DETAILS.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL PER THE REQUIREMENTS OF THE CITY. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE WSWS SPECIFICATION.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL TERMINATE AT THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOTIFY DIGGER'S HOTLINE CALL AT 1-800-242-8511 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION OR UNDERGROUND WORK.
- THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 9.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE CITY. THIS SHALL INCLUDE ALL SIGNAGE, BARRICADES, FLASHERS AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES, NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT THE EXPRESSED AUTHORITY OF THE CITY.
- ALL NEW WATERMAIN MUST HAVE A MINIMUM OF 9.0 FEET OF COVER.
- ADJUST ALL EXISTING STRUCTURES, BOTH PUBLIC AND PRIVATE TO THE PROPOSED GRADES WHERE DISTURBED AND COMPLY WITH ALL REQUIREMENTS OF THE UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- PROPOSED PIPE MATERIALS:
 

WATERMAIN	CL52 DIP	6" DIAMETER
SANITARY SEWER	SC480 PVC	4" DIAMETER
STORM SEWER	DUAL WALL HDPE	12" DIAMETER
	SC480 PVC	8" DIAMETER

#### WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT THE DIGGERS HOTLINE AT 800-242-8511 AT LEAST 48 HOURS IN ADVANCE OF ANY LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGERING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



2800 & 2720 CENTER DRIVE  
HUDSON, WI 54016



PLANNING  
CIVIL ENGINEERING  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55349  
763.424.5505  
www.loucksinc.com



#### CADD QUALIFICATION

CADD files prepared by the Consultant for this project are submitted to the City of Hudson for review and approval. The Consultant warrants that the CADD files are accurate and complete as shown on the drawings. The Consultant warrants that the CADD files are accurate and complete as shown on the drawings. The Consultant warrants that the CADD files are accurate and complete as shown on the drawings.

#### SUBMITTAL/REVISIONS

07/23/19 CITY SUBMITTAL

#### PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.

License No. E-41588-6

Date 07/23/19

#### QUALITY CONTROL

1908SC

Project Lead JLD/TDG

Drawn By MS/MDC

Checked By TDG

Review Date

#### EXISTING CONDITIONS

DEMOLITION PLAN

EXISTING UTILITIES

EXISTING GRADES

EXISTING DRAINAGE

EXISTING SWPPP NOTES & DETAILS

EXISTING CIVIL DETAILS

EXISTING LANDSCAPE PLAN

EXISTING LANDSCAPE DETAILS

EXISTING SITE PLAN

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

EXISTING SITE DETAILS

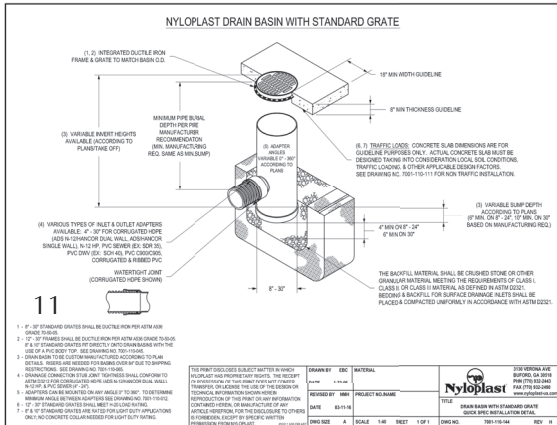
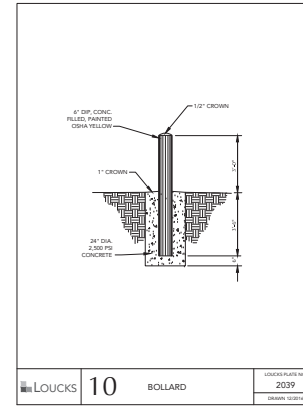
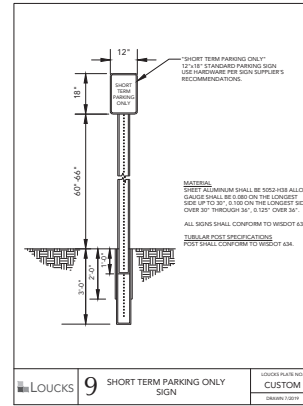
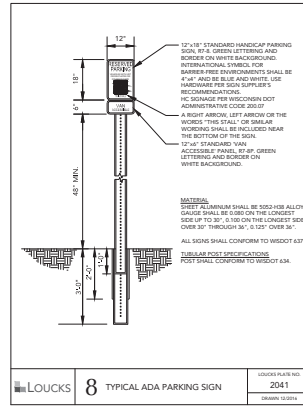
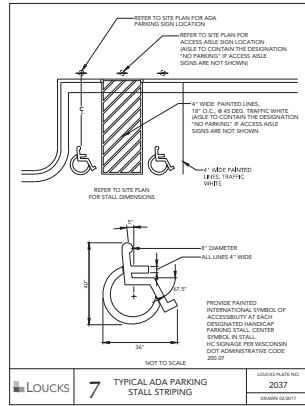
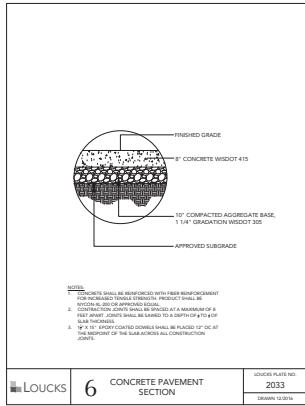
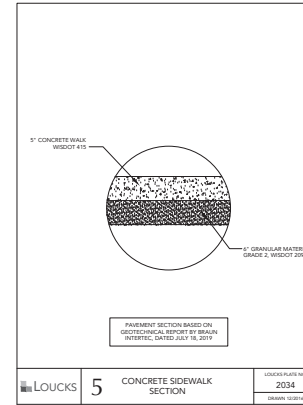
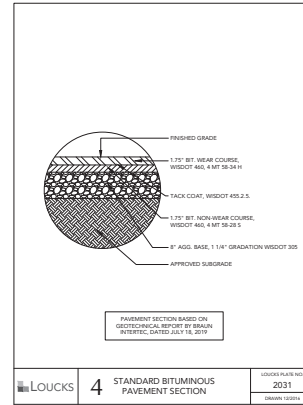
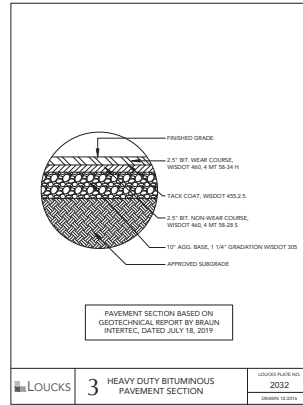
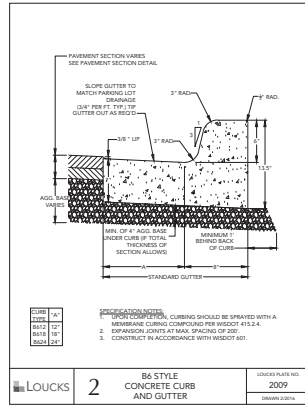
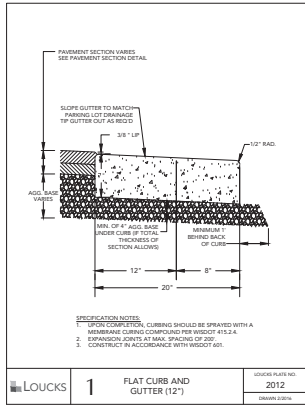


(1-800-242-8511)

UTILITY PLAN  
C4-1







L1-1

LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER WIDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY HEAVY WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

METAL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

IRRIGATION NOTES:

VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL SODDED/SEED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT. THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING/SOD/SEED HAS BEEN ESTABLISHED.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE STONE MULCH AS SPECIFIED WITH WEED BARRIER FABRIC.

ALL SHRUB BED MASSINGS TO RECEIVE STONE MULCH AS SPECIFIED WITH WEED BARRIER FABRIC.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE METAL EDGER AND ROCK MULCH AS SPECIFIED/INDICATED ON DRAWING OR IN SPECIFICATION.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

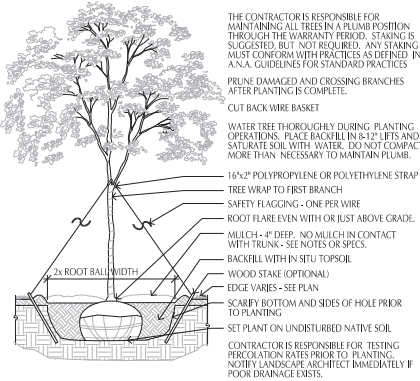
WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1. FALL DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

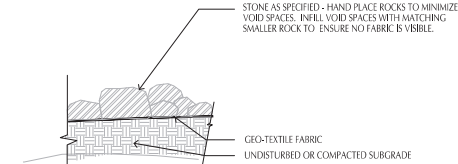
PROTECT ALL EXISTING OAKS ON SITE SCHEDULED TO REMAIN. IF EXISTING OAKS ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING. OAKS ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

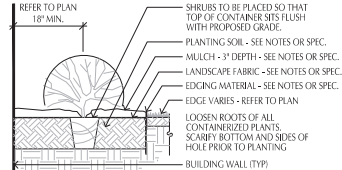


1  
L2.1  
DECIDUOUS TREE PLANTING DETAIL  
SCALE: 1/2" = 1'-0"

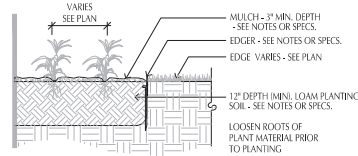
©2018 Harsco Tree Care



3  
L2.1  
DECORATIVE STONE MULCH  
SCALE: 1/2" = 1'-0"



2  
L2.1  
SHRUB PLANTING DETAIL  
SCALE: 3/4" = 1'-0"



4  
L2.1  
PERENNIAL PLANTING  
SCALE: 3/4" = 1'-0"

Revised: 07/23/19

CADD QUALIFICATION

CADD files generated by the Consultant for this project are submitted to the Client for review and approval. The Client's review and approval of the CADD files is not a warranty of the Consultant's work. The Client's review and approval of the CADD files is not a warranty of the Consultant's work. The Client's review and approval of the CADD files is not a warranty of the Consultant's work.

SUBMITTAL/REVISIONS

DATE	DESCRIPTION
07-23-19	CITY SUBMITTAL
07-23-19	REVISION 1
07-23-19	REVISION 2
07-23-19	REVISION 3
07-23-19	REVISION 4
07-23-19	REVISION 5
07-23-19	REVISION 6
07-23-19	REVISION 7
07-23-19	REVISION 8
07-23-19	REVISION 9
07-23-19	REVISION 10
07-23-19	REVISION 11
07-23-19	REVISION 12
07-23-19	REVISION 13
07-23-19	REVISION 14
07-23-19	REVISION 15
07-23-19	REVISION 16
07-23-19	REVISION 17
07-23-19	REVISION 18
07-23-19	REVISION 19
07-23-19	REVISION 20
07-23-19	REVISION 21
07-23-19	REVISION 22
07-23-19	REVISION 23
07-23-19	REVISION 24
07-23-19	REVISION 25
07-23-19	REVISION 26
07-23-19	REVISION 27
07-23-19	REVISION 28
07-23-19	REVISION 29
07-23-19	REVISION 30
07-23-19	REVISION 31
07-23-19	REVISION 32
07-23-19	REVISION 33
07-23-19	REVISION 34
07-23-19	REVISION 35
07-23-19	REVISION 36
07-23-19	REVISION 37
07-23-19	REVISION 38
07-23-19	REVISION 39
07-23-19	REVISION 40
07-23-19	REVISION 41
07-23-19	REVISION 42
07-23-19	REVISION 43
07-23-19	REVISION 44
07-23-19	REVISION 45
07-23-19	REVISION 46
07-23-19	REVISION 47
07-23-19	REVISION 48
07-23-19	REVISION 49
07-23-19	REVISION 50
07-23-19	REVISION 51
07-23-19	REVISION 52
07-23-19	REVISION 53
07-23-19	REVISION 54
07-23-19	REVISION 55
07-23-19	REVISION 56
07-23-19	REVISION 57
07-23-19	REVISION 58
07-23-19	REVISION 59
07-23-19	REVISION 60
07-23-19	REVISION 61
07-23-19	REVISION 62
07-23-19	REVISION 63
07-23-19	REVISION 64
07-23-19	REVISION 65
07-23-19	REVISION 66
07-23-19	REVISION 67
07-23-19	REVISION 68
07-23-19	REVISION 69
07-23-19	REVISION 70
07-23-19	REVISION 71
07-23-19	REVISION 72
07-23-19	REVISION 73
07-23-19	REVISION 74
07-23-19	REVISION 75
07-23-19	REVISION 76
07-23-19	REVISION 77
07-23-19	REVISION 78
07-23-19	REVISION 79
07-23-19	REVISION 80
07-23-19	REVISION 81
07-23-19	REVISION 82
07-23-19	REVISION 83
07-23-19	REVISION 84
07-23-19	REVISION 85
07-23-19	REVISION 86
07-23-19	REVISION 87
07-23-19	REVISION 88
07-23-19	REVISION 89
07-23-19	REVISION 90
07-23-19	REVISION 91
07-23-19	REVISION 92
07-23-19	REVISION 93
07-23-19	REVISION 94
07-23-19	REVISION 95
07-23-19	REVISION 96
07-23-19	REVISION 97
07-23-19	REVISION 98
07-23-19	REVISION 99
07-23-19	REVISION 100

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.

License No. E-41588-6  
Date 07-23-19

QUALITY CONTROL

Loucks Project No.	1908C
Project Lead	JTD/TDG
Drawn By	MS/MDC
Checked By	TDG
Review Date	

NO.	DESCRIPTION
01.1	EXISTING CONDITIONS
01.2	DEMOLITION PLAN
01.3	SITE PLAN
01.4	GRADING & DRAINAGE PLAN
01.5	SWPPP
01.6	SWPPP NOTES & DETAILS
01.7	UTILITY PLAN
01.8	CIVIL DETAILS
01.9	CIVIL DETAILS
01.10	LANDSCAPE DETAILS
01.11	LANDSCAPE DETAILS
01.12	LANDSCAPE DETAILS
01.13	LANDSCAPE DETAILS
01.14	LANDSCAPE DETAILS
01.15	LANDSCAPE DETAILS
01.16	LANDSCAPE DETAILS
01.17	LANDSCAPE DETAILS
01.18	LANDSCAPE DETAILS
01.19	LANDSCAPE DETAILS
01.20	LANDSCAPE DETAILS
01.21	LANDSCAPE DETAILS
01.22	LANDSCAPE DETAILS
01.23	LANDSCAPE DETAILS
01.24	LANDSCAPE DETAILS
01.25	LANDSCAPE DETAILS
01.26	LANDSCAPE DETAILS
01.27	LANDSCAPE DETAILS
01.28	LANDSCAPE DETAILS
01.29	LANDSCAPE DETAILS
01.30	LANDSCAPE DETAILS
01.31	LANDSCAPE DETAILS
01.32	LANDSCAPE DETAILS
01.33	LANDSCAPE DETAILS
01.34	LANDSCAPE DETAILS
01.35	LANDSCAPE DETAILS
01.36	LANDSCAPE DETAILS
01.37	LANDSCAPE DETAILS
01.38	LANDSCAPE DETAILS
01.39	LANDSCAPE DETAILS
01.40	LANDSCAPE DETAILS
01.41	LANDSCAPE DETAILS
01.42	LANDSCAPE DETAILS
01.43	LANDSCAPE DETAILS
01.44	LANDSCAPE DETAILS
01.45	LANDSCAPE DETAILS
01.46	LANDSCAPE DETAILS
01.47	LANDSCAPE DETAILS
01.48	LANDSCAPE DETAILS
01.49	LANDSCAPE DETAILS
01.50	LANDSCAPE DETAILS
01.51	LANDSCAPE DETAILS
01.52	LANDSCAPE DETAILS
01.53	LANDSCAPE DETAILS
01.54	LANDSCAPE DETAILS
01.55	LANDSCAPE DETAILS
01.56	LANDSCAPE DETAILS
01.57	LANDSCAPE DETAILS
01.58	LANDSCAPE DETAILS
01.59	LANDSCAPE DETAILS
01.60	LANDSCAPE DETAILS
01.61	LANDSCAPE DETAILS
01.62	LANDSCAPE DETAILS
01.63	LANDSCAPE DETAILS
01.64	LANDSCAPE DETAILS
01.65	LANDSCAPE DETAILS
01.66	LANDSCAPE DETAILS
01.67	LANDSCAPE DETAILS
01.68	LANDSCAPE DETAILS
01.69	LANDSCAPE DETAILS
01.70	LANDSCAPE DETAILS
01.71	LANDSCAPE DETAILS
01.72	LANDSCAPE DETAILS
01.73	LANDSCAPE DETAILS
01.74	LANDSCAPE DETAILS
01.75	LANDSCAPE DETAILS
01.76	LANDSCAPE DETAILS
01.77	LANDSCAPE DETAILS
01.78	LANDSCAPE DETAILS
01.79	LANDSCAPE DETAILS
01.80	LANDSCAPE DETAILS
01.81	LANDSCAPE DETAILS
01.82	LANDSCAPE DETAILS
01.83	LANDSCAPE DETAILS
01.84	LANDSCAPE DETAILS
01.85	LANDSCAPE DETAILS
01.86	LANDSCAPE DETAILS
01.87	LANDSCAPE DETAILS
01.88	LANDSCAPE DETAILS
01.89	LANDSCAPE DETAILS
01.90	LANDSCAPE DETAILS
01.91	LANDSCAPE DETAILS
01.92	LANDSCAPE DETAILS
01.93	LANDSCAPE DETAILS
01.94	LANDSCAPE DETAILS
01.95	LANDSCAPE DETAILS
01.96	LANDSCAPE DETAILS
01.97	LANDSCAPE DETAILS
01.98	LANDSCAPE DETAILS
01.99	LANDSCAPE DETAILS
02.00	LANDSCAPE DETAILS